



COMMUNITY DEVELOPMENT
DEPARTMENT

CITY OF CASPER

200 North David Street
Casper, WY 82601-1862
Phone: (307) 235-8241
Fax: (307) 235-8362
www.casperwy.gov

Building Division

End of year Report 2020

Prepared by- Dan Elston, Chief Building Official

Construction in 2020 was consistent with 2019. In 2020, Commercial Certificates of Occupancy were issued to 20 addresses for a new or existing business. A certificate of occupancy is issued to, a new business in a new building, a new business in an existing building, or an existing business in a new location. Of the 20 certificates of occupancy, 6 were for construction of new buildings, 14 were remodels of existing buildings for new business.

Commercial Projects Completed:

Remodels:

- Rodolph Brothers Landscaping (2100 E. Yellowstone)
- Crumbl Cookie (5030 E. 2nd St.)
- Mtn. Hops Brewery (612 N. Beverly)
- Grab N Go (611 W. Collins)
- Veterans Administration (6000 E. 2nd St.)
- U-Haul (4000 E. 2nd St.)
- Altitude Vet Clinic (299 Country Club)
- Wyoming Work Warehouse (5050 E. 2nd St.)
- Children's Theatre (949 N. Durbin)
- Code Ninja's (4080 S. Poplar)
- 307 Print-Ship & More (4030 Plaza Dr.)
- State Bank (S. Center St.) Not pictured.
- McGlade Storage Building (1615 E. Yellowstone)
- Smile Doctors (5271 E. 2nd St.)

New Construction:

- Wash-N-Glo Car Wash (4055 Plaza Dr.)
- 4 Plex Apt. (1551 Aryn Lane)
- Hilltop Bank (4120 Centennial Hills Blvd.)
- 1st Interstate Bank (4901 E. 2nd St.)

- Wells Fargo (141 N. Wolcott)
- Office Warehouse (801 Jane St.)

One/Two Family Dwellings:

Residential housing was steady for 2020. The City of Casper issued 58 Building permits for one/two family dwellings compared to 62 in 2019. This does not include Evansville, Mills or Bar Nunn.

Multi-Family Housing:

- There were 8 apartment buildings of 3 or 4 units for a total of 30 units and 1 apartment building with 49 units for a total of 79 dwelling units. Apartment dwelling units were not tracked in previous years so there is no 2019 comparison.

Commercial Projects under Construction:

- Meadowlark Hills Apartments (4400 S. Coffman) 49-unit apartment building, mechanical, plumbing and electrical rough-ins are in process, anticipate spring completion.
- Fuzzies Taco's, (3243 Talon Dr.) Steel framing in process, anticipate spring completion.
- Rescue Mission Men's-Women's Housing (215 N. Park) foundations in process, completion date unknown.
- State Office Building (444 W. Collins) Exterior masonry complete, interior rough-ins in process, drywall in process, estimate December 2021 completion.
- Rocky Mountain Car Wash (4600 Tranquility Way) Foundation, site work in process, 2021 completion date.
- Medical Office Building (234 E. 1st. St.) Old Wells Fargo onion building. 2nd floor remodel in process, unknown completion date.
- NCHS Natatorium (930 S. Elm St.) Pool concrete foundation and walls are complete, brick masonry in process. Completion date is fall of 2021, this does not include elevated walkway.
- YMCA Natatorium (1611 Casper Mtn. Rd.) Foundation is in process. Completion date is spring of 2022.

Permit Revenue:

The Community Development Department issued 1,260 building, 1,178 electrical, 1,143 plumbing, and 908 mechanical permits for 2020.

The total value of construction for 2020, both commercial and residential was \$85,468,220.02.

This includes all construction including, reroofs, garages, additions, decks, remodels and new construction, plus electrical, mechanical, plumbing systems.

The revenue fees collected for the above value of work was \$1,411,340.01. Which is \$89,694.28 above fees collected for 2019.

The new State Office Building project is not included in the 2020 revenue, this project was permitted in 2019.

Inspections:

The building department performed 1,900 building, 1,906 electrical, 1,510 plumbing, 619 mechanical, inspections plus 198 field consults and 356 plan reviews for 2019. Inspections can range from a 15-minute water heater inspection to a 3-hour commercial framing or rough-in inspection. With our team of five certified inspectors, scheduling and traveling to field inspections consumes the majority of time each day. It is with pride that the City of Casper can pronounce that the average time for an inspection to be completed is less than 2 hrs. Most jurisdictions require a 24hr. notice for all inspections.

Pictures:

Attached are pictures of the listed projects both completed and under construction in 2020 for your review.

Anticipated projects 2021:

With all that has taken place over the last year, it is difficult to forecast the construction industry in Casper for the next year. There are some projects that have been in contact with the City that are scheduled for construction in 2021. I will list those with the understanding that in construction anything can change at any moment.

- The Nolan Project (old Plains Building/site) Conceptual drawings submitted with construction drawings in the near future.
- Casper College Visual Arts Building (Casper College) Construct new Visual Arts building north of existing Visual Arts building and remove old building.
- 60-unit apartment building (Old Ball fields site on Beverly St.)
- Discount Tire (In front of Marriot on E. 2nd St.)

The Building Department is excited to submit this annual report; it reflects that construction in 2020 was ahead of 2019 and hopefully continues for 2021.

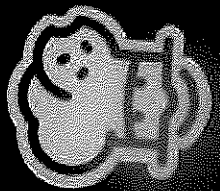
Remodels Completed

2020

001N

11

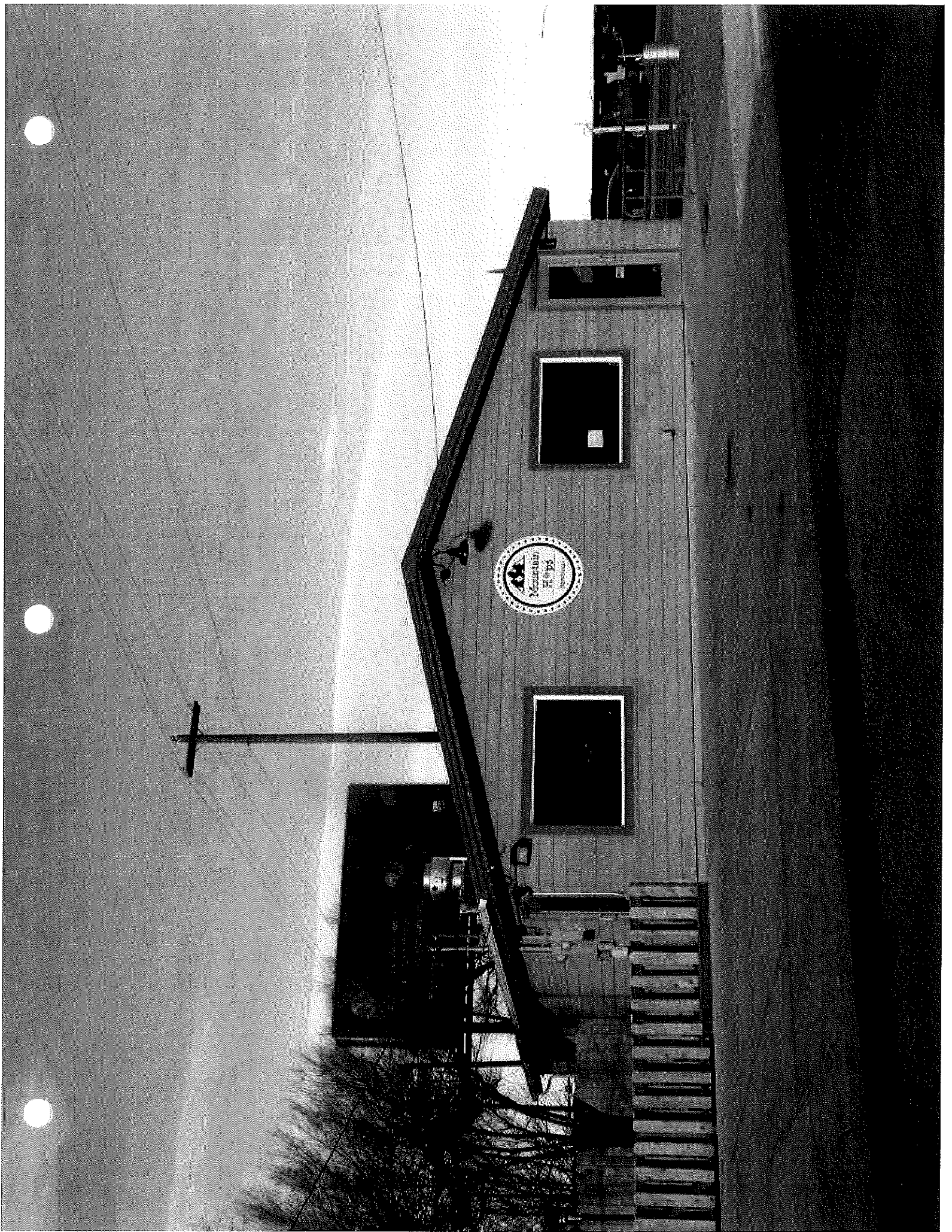
100' E YELLOWSTONE



crumbbl
cookies



CRUMBL COOKIES
5030 E 2ND ST.





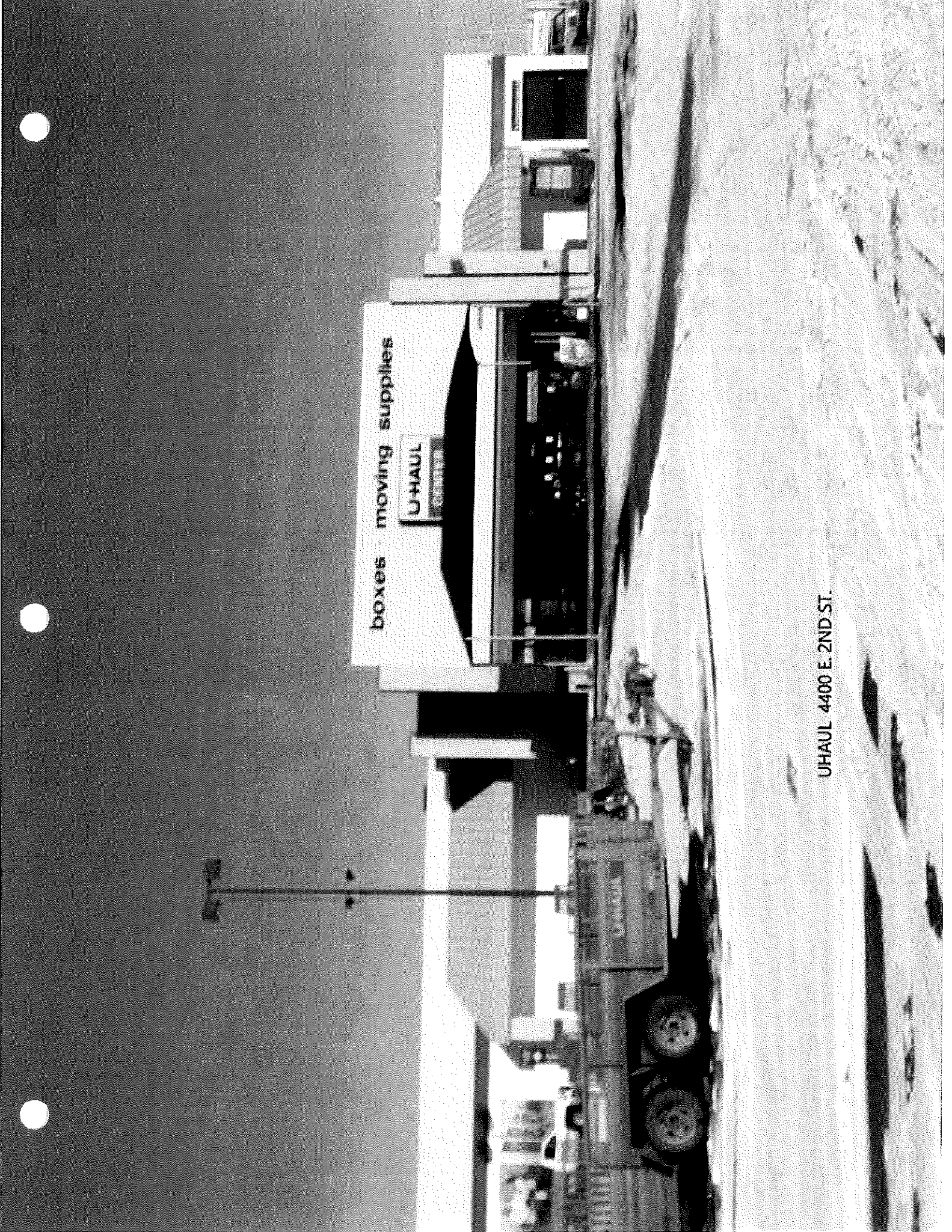
GREENGLASS & COLLINS

NO
2ND



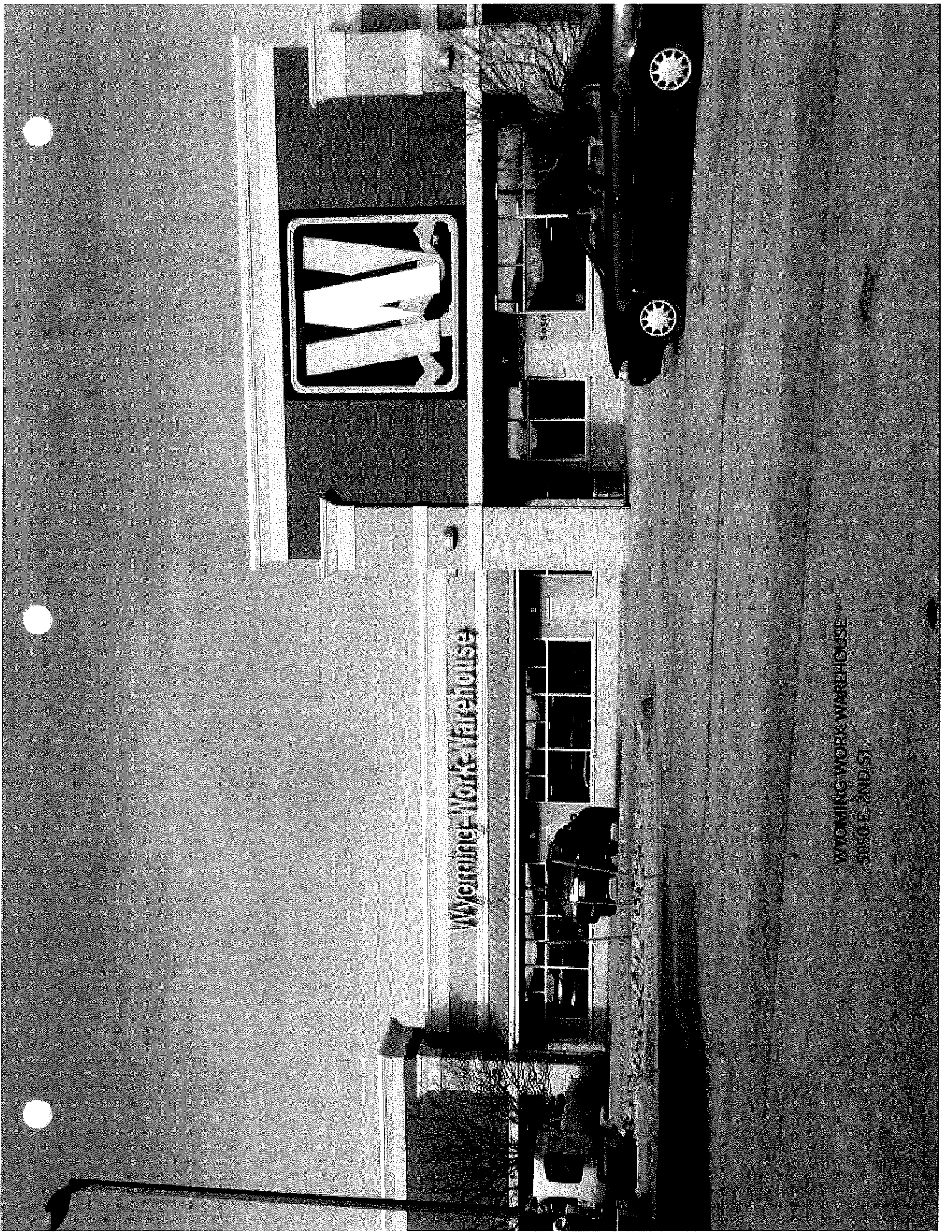
VETERANS CENTER
6000 E 2ND ST

6000

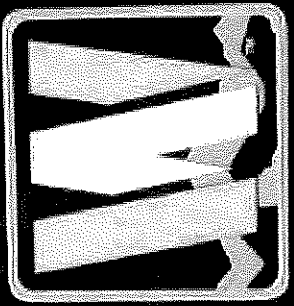


UHAUL 4400 E. 2ND ST.





Wyoming Work Warehouse

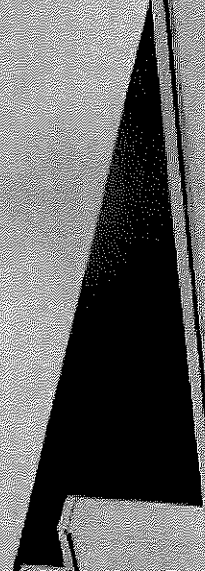
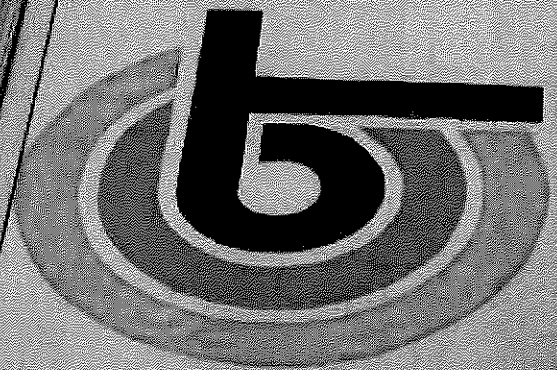


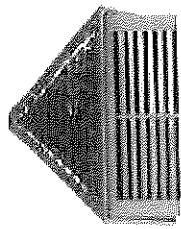
5050 E 2ND ST


WYOMING WORK WAREHOUSE
5050 E 2ND ST

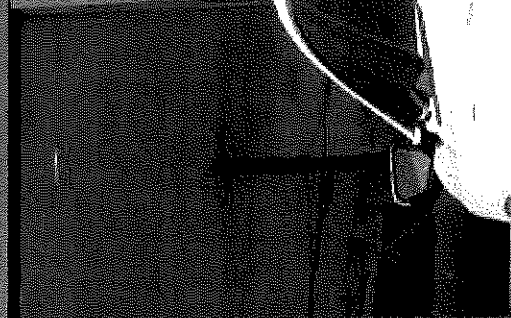
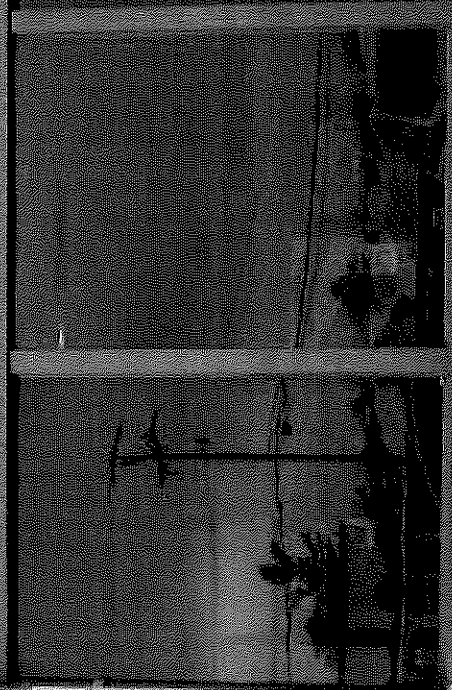
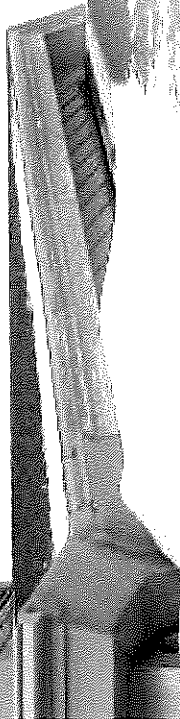
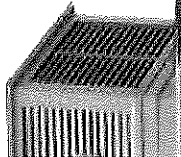
CASPER CHILDREN'S

THEATRE

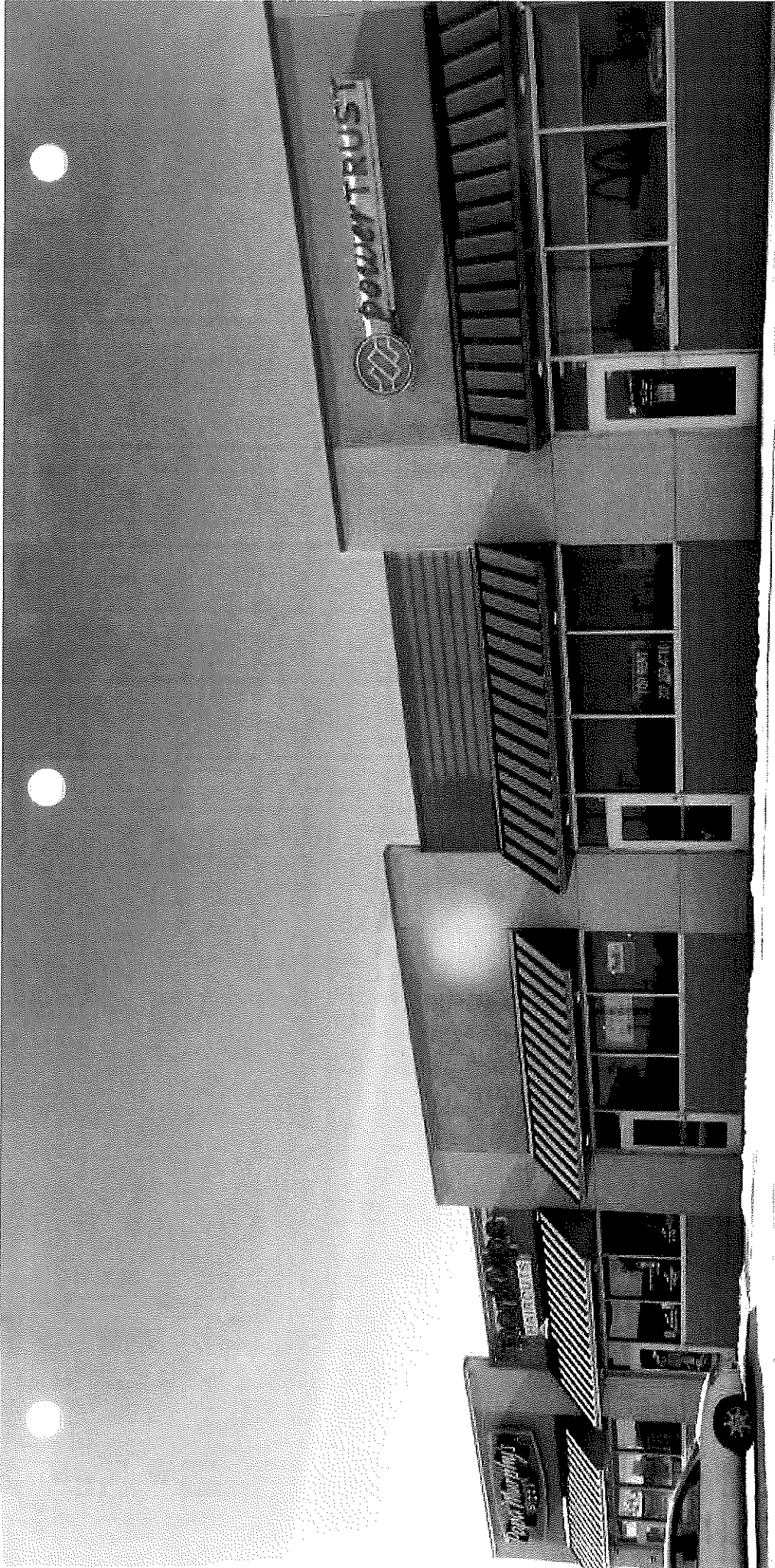




 **CODE NINJAS**



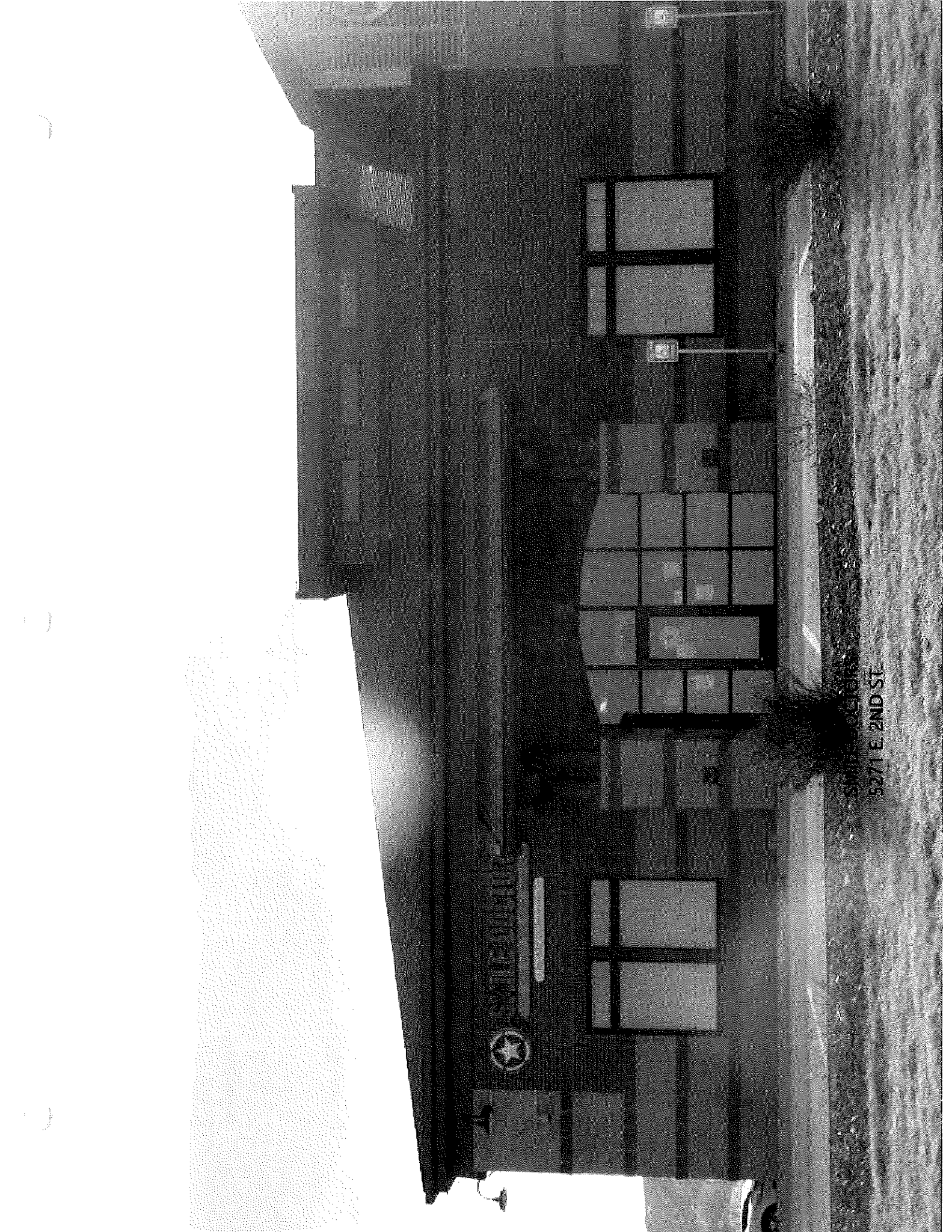
CODE NINJAS - BIRNIS POPLAR



307 PRINT-SHIP & MORE
4030 PLAZA DR



ENERGY307

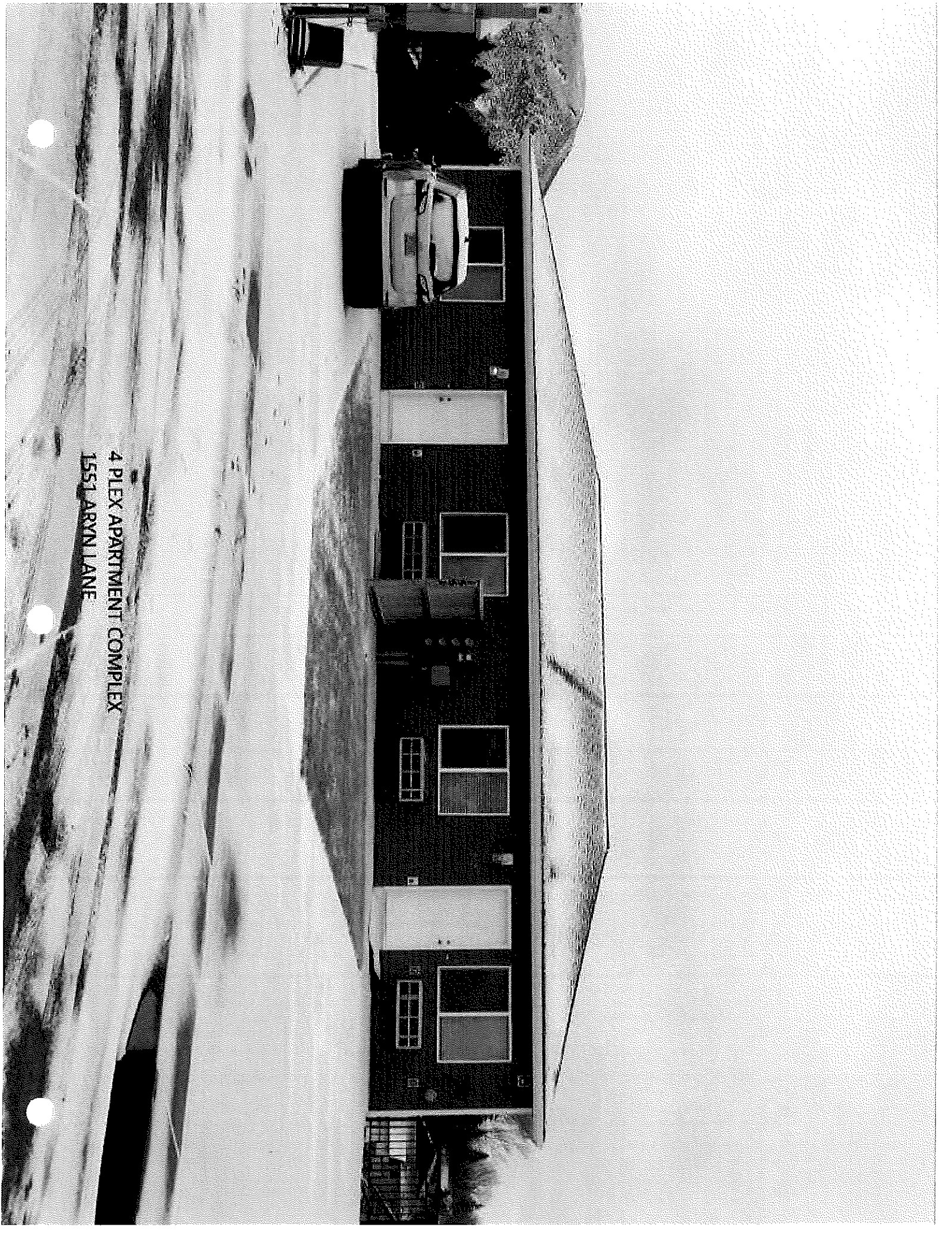


5271 E. 2ND ST.

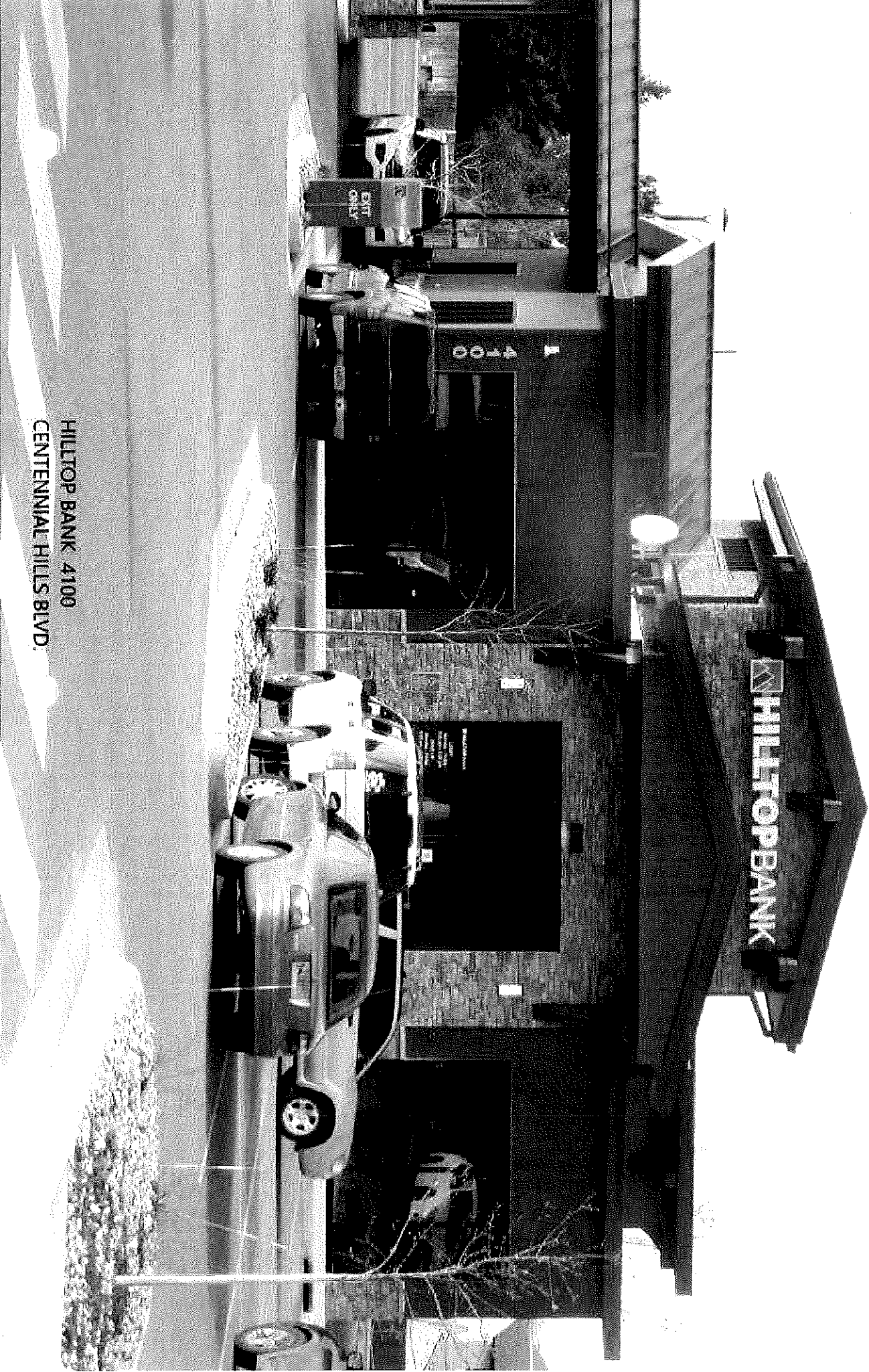
New Construction Completed 2020

WASH & GLO CAR WASH 400 PLAZA DR

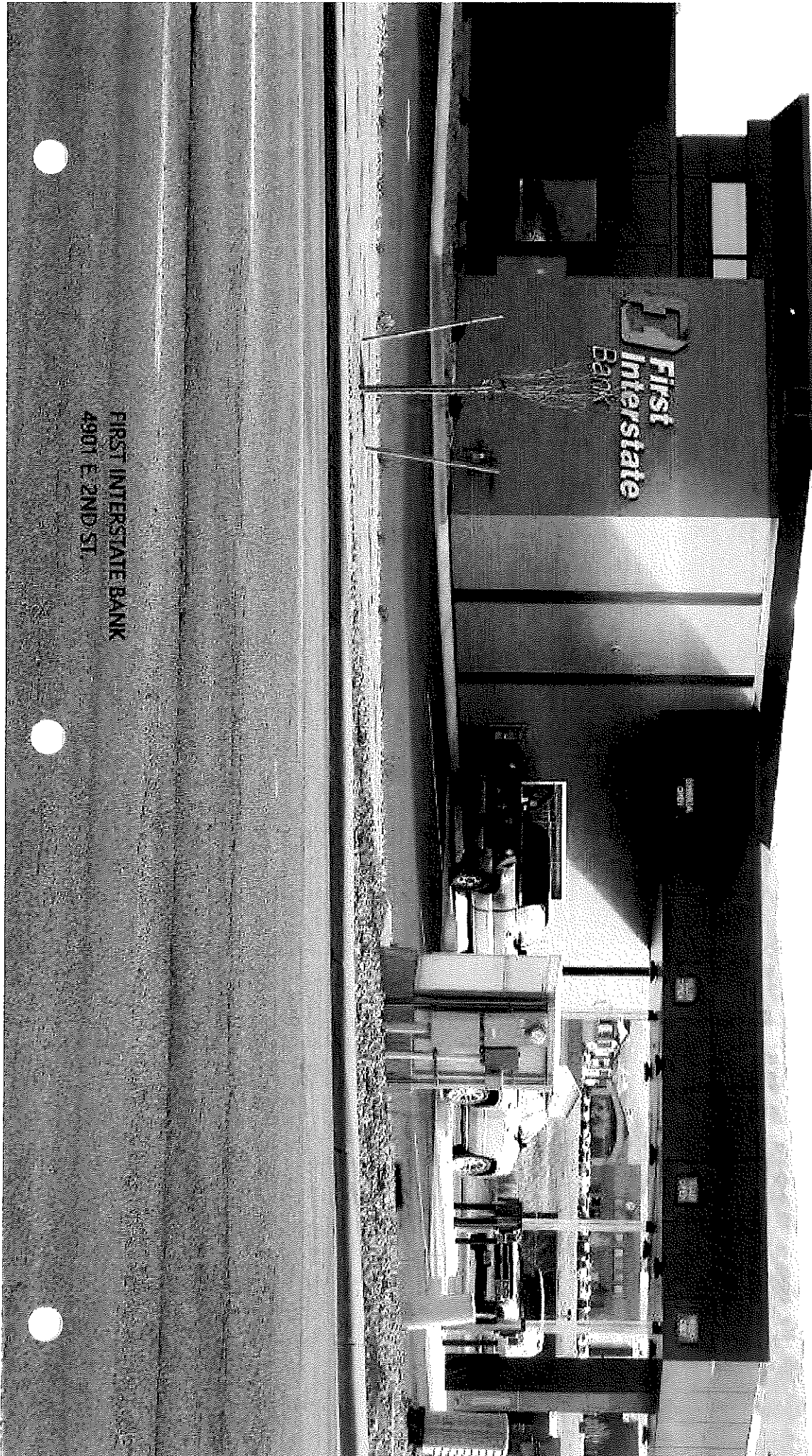




4 PLEX APARTMENT COMPLEX
1551 ARVN LANE



HILLTOP BANK 4100
CENTENNIAL HILLS BLVD.



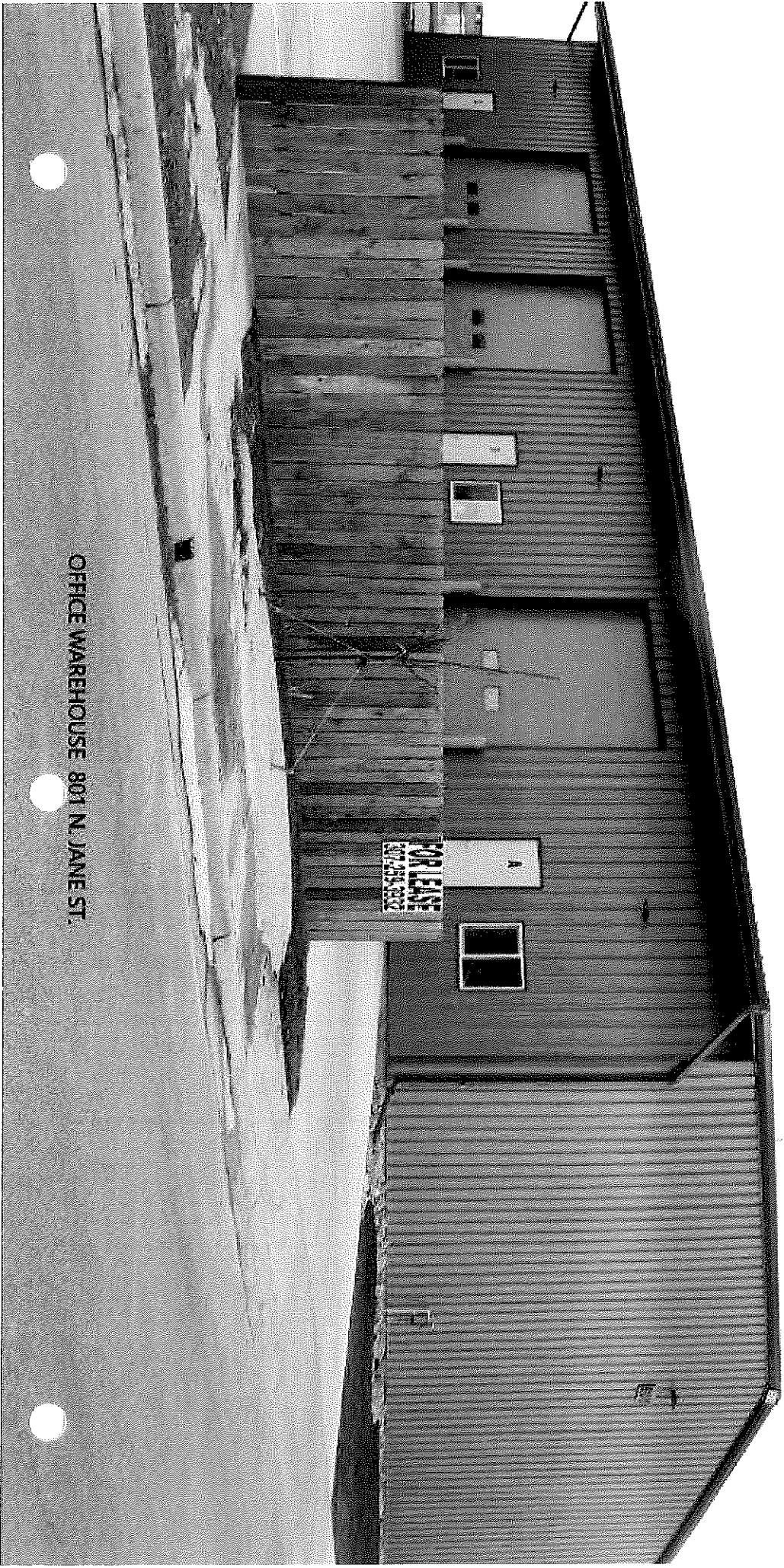
FIRST INTERSTATE BANK
4901 E. 2ND ST.



OFFICE WAREHOUSE 801 N. JANE ST.

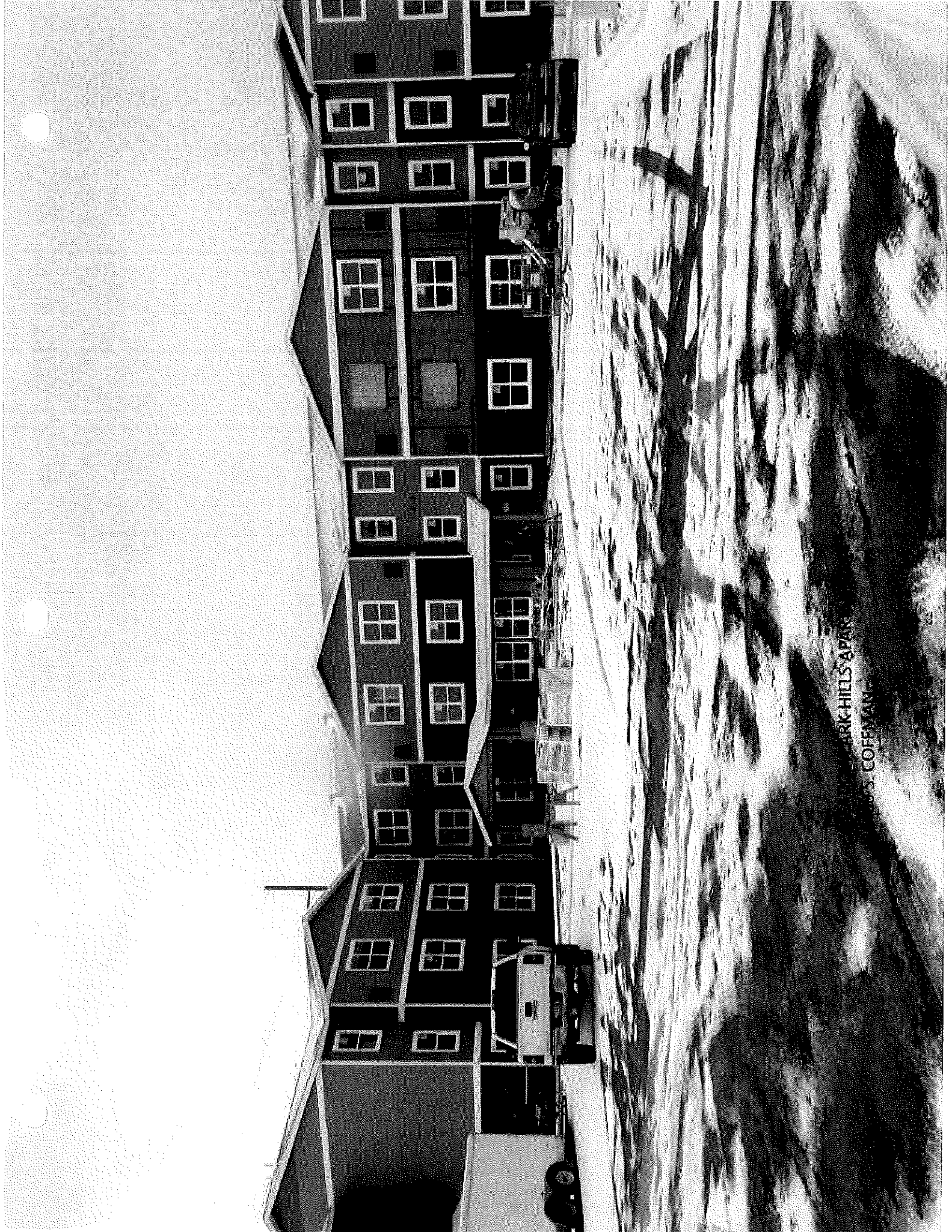
FOR LEASE
801 N. JANE ST.
208-255-2922

1

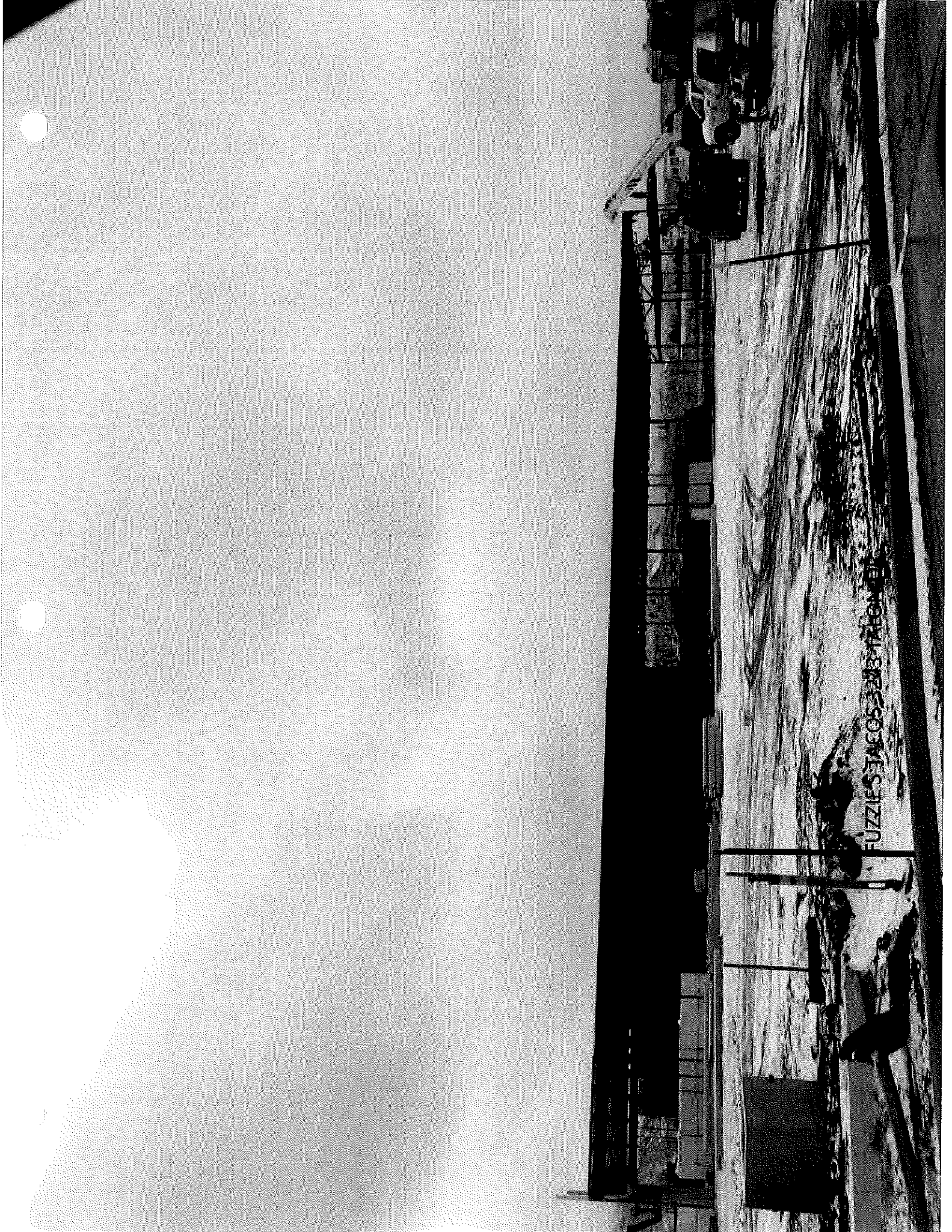


Projects in Progress

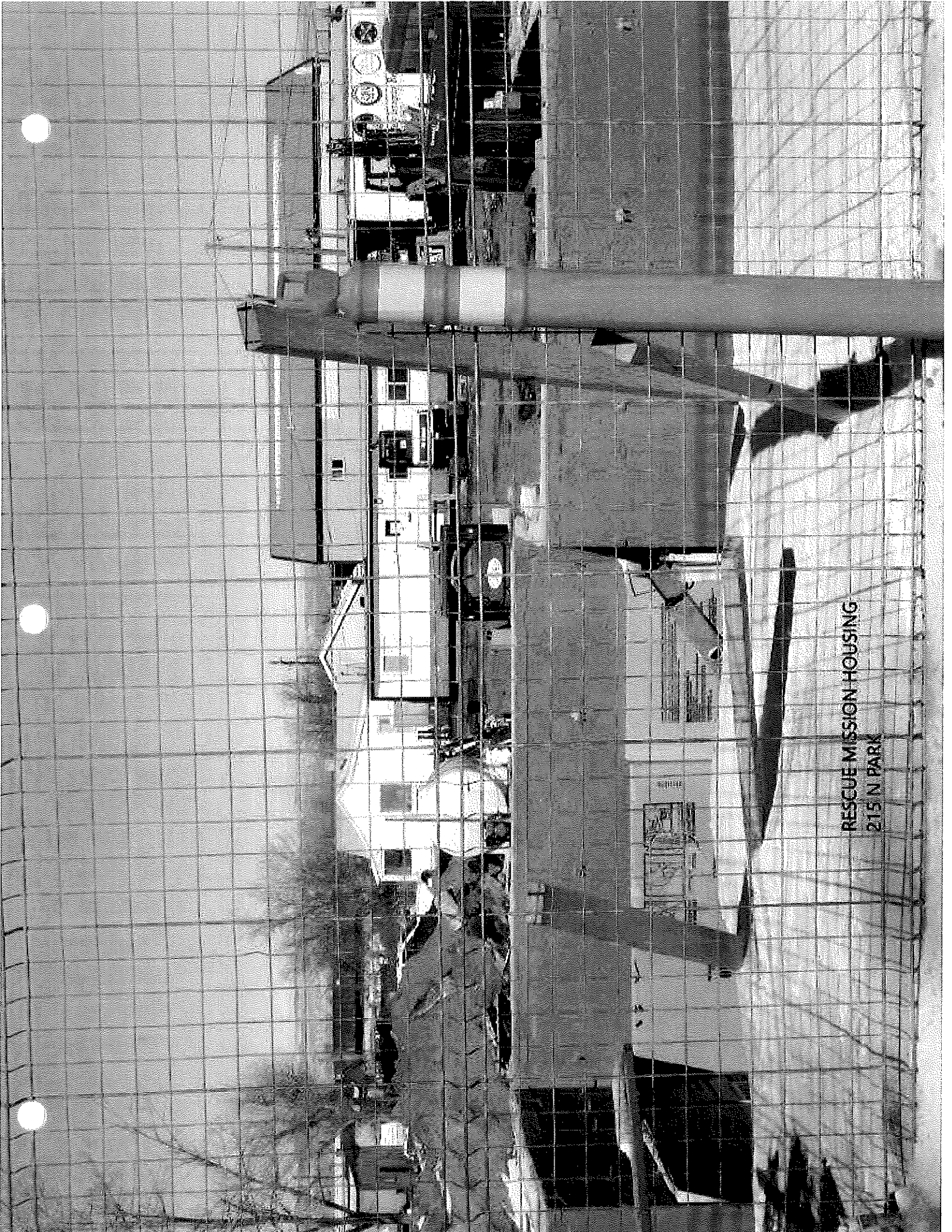
2020



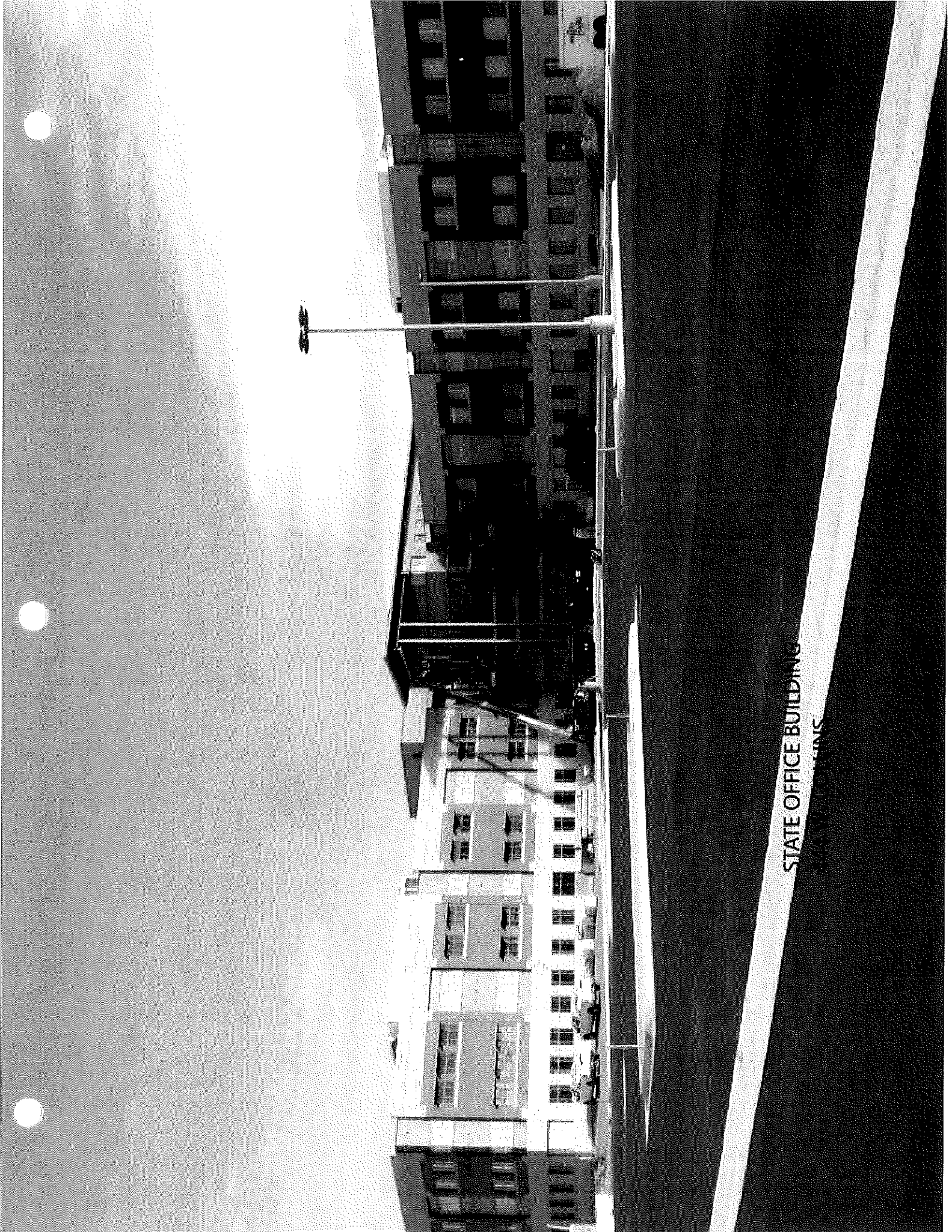
MARK HILLS APARTMENTS
JAMES COFFERTY



FUZZIE'S TACOS 555-233-7400



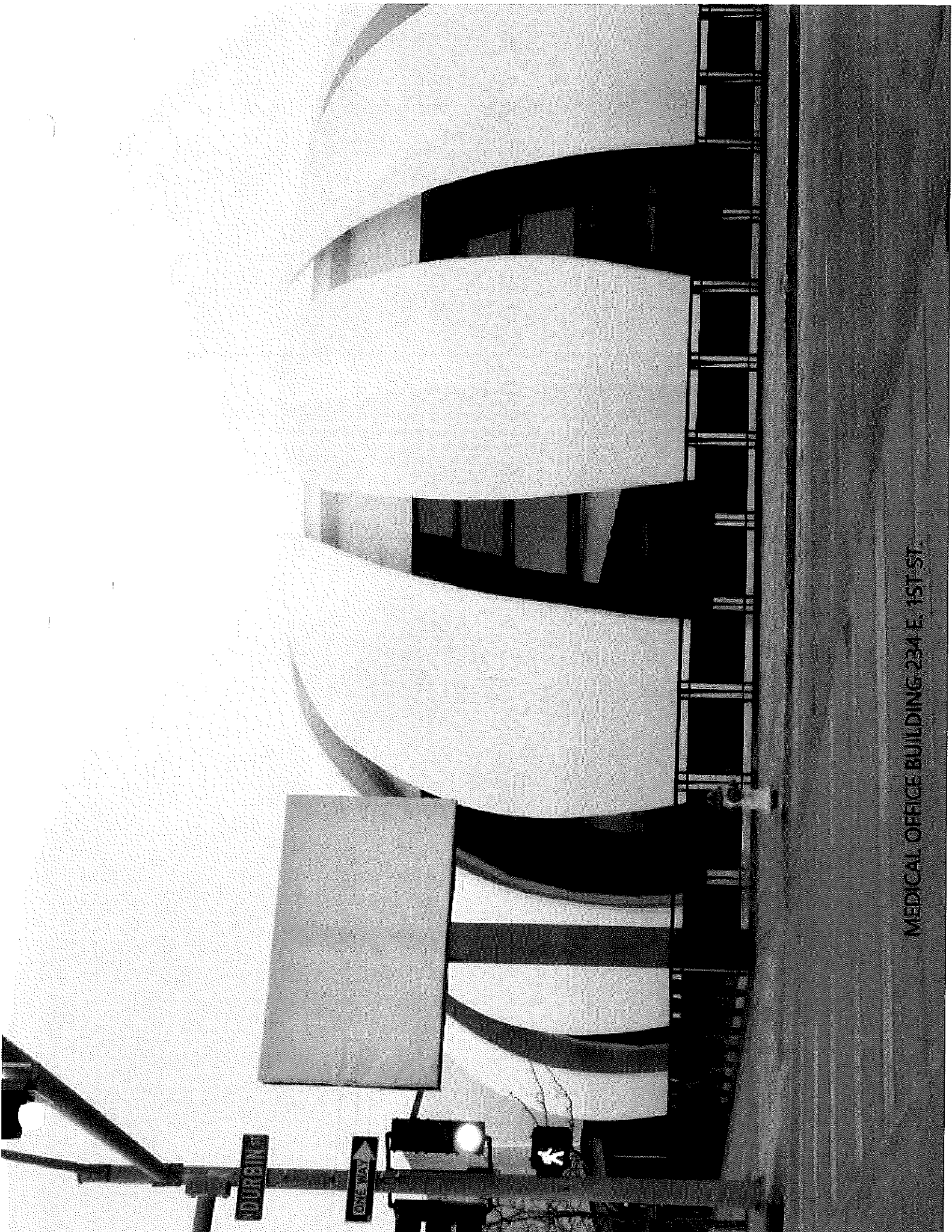
RESCUE MISSION HOUSING
215 N PARK



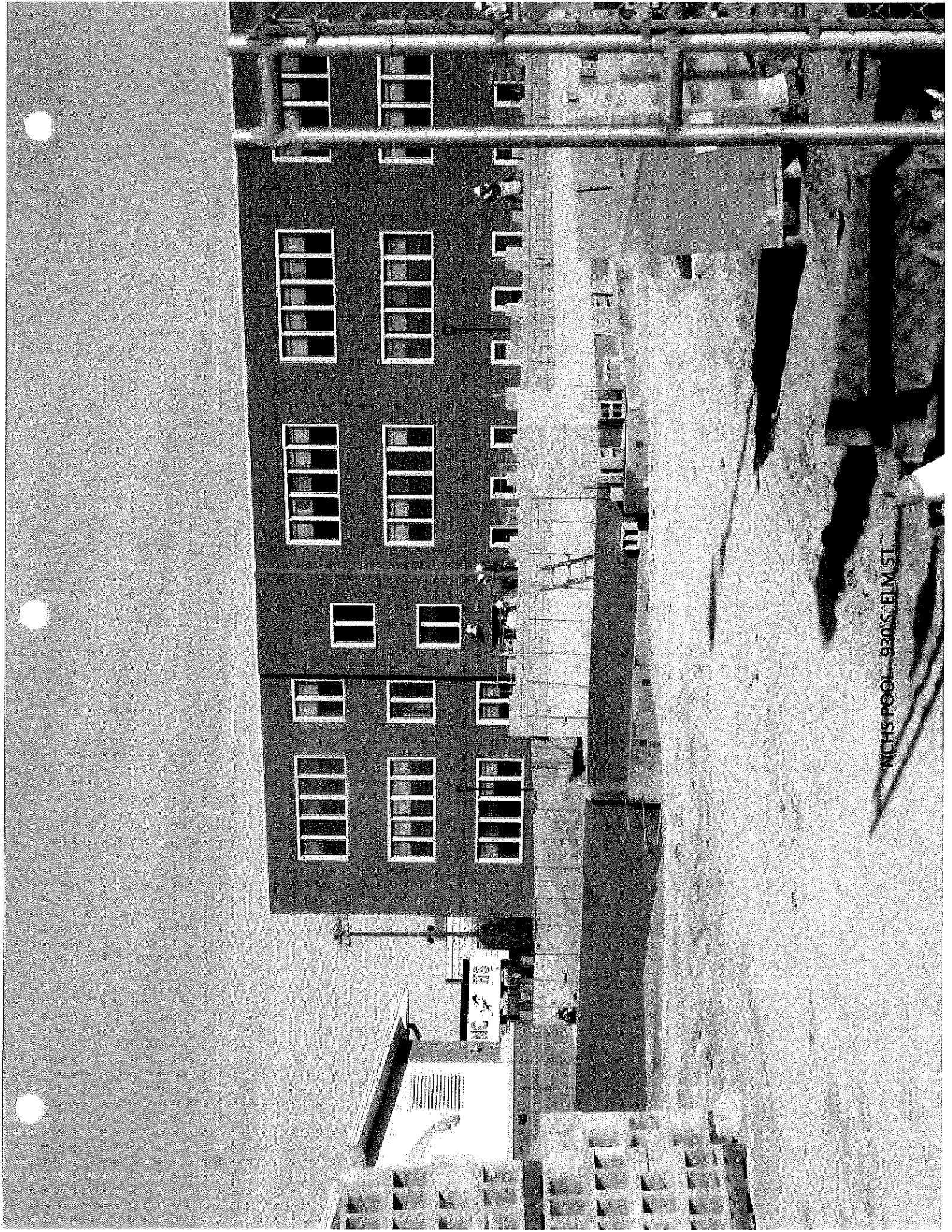
STATE OFFICE BUILDING
SACRAMENTO, CALIF.



ROCKY MOUNTAIN CAR WASH
1600 TRANQUILITY WAY



MEDICAL OFFICE BUILDING 234 E. 1ST ST.



NICHOLS POOL 920 S. ELM ST.



YMCA POOL 16712 CASPER MITTLE RD